

**MASON**

Plan 2330



**HOMES**



**MASON PLAN 2330**

Plan Schedule	
Date:	Revisions:
03-12-2019	Floor Plan Review
	Bid Set
	Full CD's
	Final Drawings

**S. Q. F O O T A G E S**

Main Level	2330 SQ. FT.
Front Porch	120 SQ. FT.
Covered Patio	180 SQ. FT.
Uncovered Patio	85 SQ. FT.
Garage	555 SQ. FT.

**S H E E T I N D E X**

T1.0	Cover Page
T1.1	General Notes
A1.0	Foundation Plan
A1.1	Roof Plan
A2.0	Main Level Floor Plan
A2.1	Upper Level Floor Plan
A3.0	Elevations
A3.1	Elevations Details
A4.0	Foundation Details
A4.1	Standard Framing Details
A4.2	Framing Details
E1.0	Main Level Electrical Plan
E1.1	Upper Level Electrical Plan

**S H E E T N U M B E R**

Cover Page

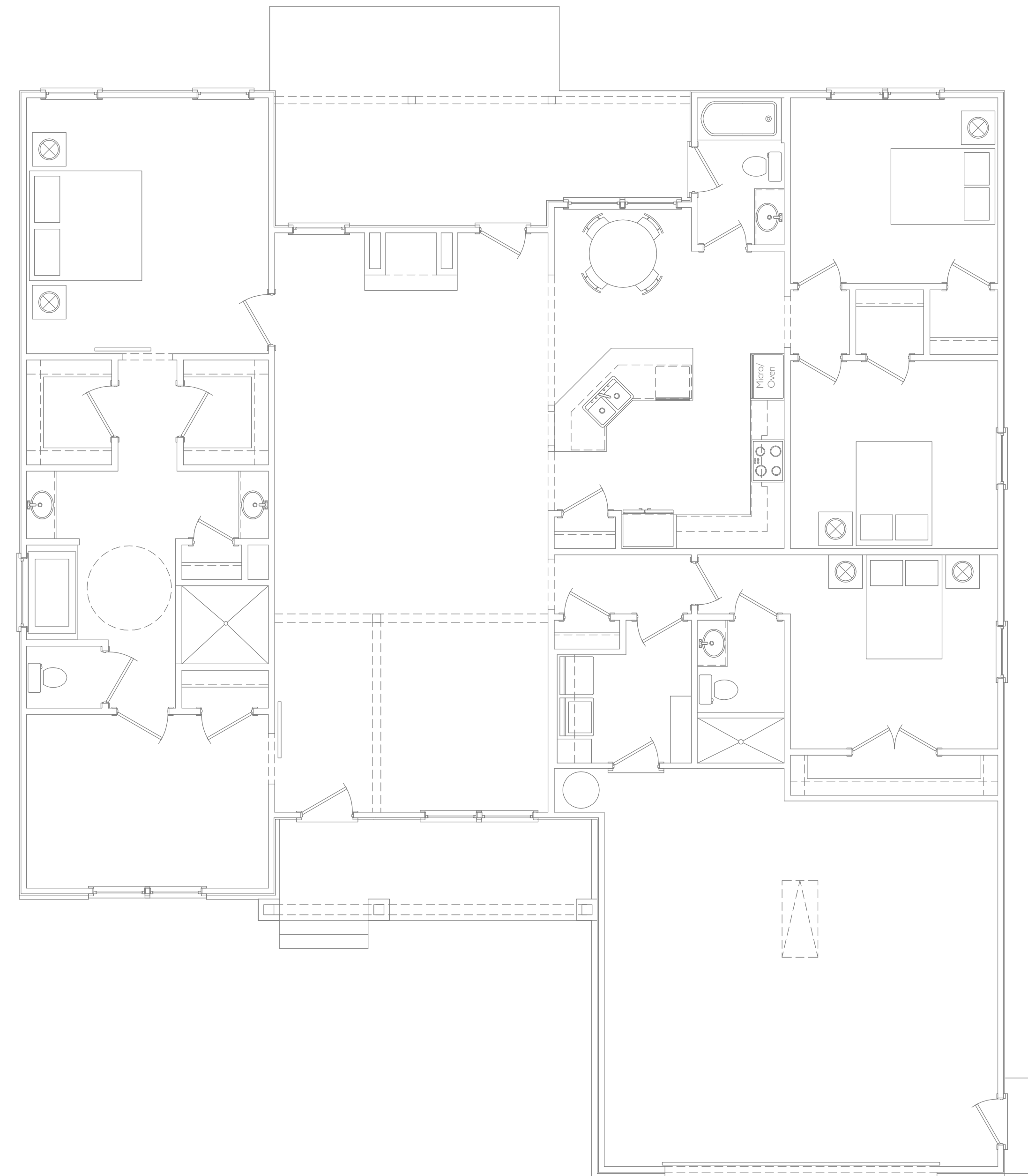
**T1.0**

## General Notes:

1. Do not scale drawings. If dimensions are in question, obtain clarification from the Owner before continuing with construction. All dimensions relating to existing conditions shall be field verified.
2. All structural details and callouts are given as general information and should be verified by locale engineer. While constructing this project all Locale, State and Federal codes that apply should be applied. By building this project you agree not to hold the designer or any party associated with them accountable for damages, lost of revenue or anything else associated with this project.
3. Dimensions are called out from outside face of studs @ exterior walls to centerline of interior stud walls. Window and door opening, in stud construction, are dimensioned to center of opening. Masonry walls are called out from out side face of masonry to face of masonry. Window and door opening, in masonry construction, are dimensioned as masonry openings (noted as M.O.).
4. Dimensions for elevations, sections, and details are called out from top of sub floor.
5. Any dimensional discrepancies are to be directed to the Owner, before fabrication of area in question.
6. Contractor to field verify all existing conditions and dimensions. Contractor to notify Owner of any discrepancies with these drawings and/or site information prior to beginning construction and/or ordering materials.
7. Contractor to provide wood blocking for all millwork and any wall hung counters, ledges and shelving. Provide blocking as required by construction.
8. All finish work shall be smooth, free from abrasion and/or tool marks on any exposed surfaces. All specified finishes are to be installed per manufacturers instructions.
9. All construction shall comply with all building codes and requirements having jurisdiction over this project.
10. Verify with Owner reflected ceiling plan intent, the placement in relation to adjacent finishes or grids. Contractor to coordinate owner review meeting to approve all power and telephone outlet locations. This meeting shall be after all walls have been framed and before any wall finishes have been applied. Modify electrical as required to accommodate any owner selected fixtures / appliances. Notify Owner of any revisions.
11. Piping located above grade and inside the building shall be concealed in chases/furred spaces with the exception of piping in equipment rooms. The contractor shall coordinate with other trades to provide furring for piping installed in finish areas.
12. All door frame locations are to be determined by: inside face of doorframe will be located minimum 4" clear from the edge of the adjacent partition, unless noted otherwise. For CMU walls - see dimensional plan.
13. Contractor to coordinate keying requirements with owner (master keying, grandmaster keying, etc.)
14. Contractor to verify location of electrical floor outlets, telephone receptacles, and cable connections with Owner prior to installation.
15. Contractor to verify location of thermostats, Air handlers, and condensing units with Owner prior to installation. All ductwork is to be concealed unless otherwise noted.
16. Beams, Headers, Footings, Foundation Walls and Lentils to be sized by an engineer or manufacturer.
17. Use double joists under walls, which run parallel to joists.
18. Exact size and reinforcement of all concrete footings must be determined by local soil conditions and acceptable practices of construction. Verifying design with local Geotech Engineer.
18. Electrical Contractor to verify and/or size electrical system to meet or exceed local code requirements.
20. H.V.A.C. Contractor to verify and/or size heating and cooling loads for local codes, climatic conditions and building orientation, and volume of interior space.
21. Plumbing Contractor: plumbing materials and installation to be done in accordance with local requirements.
22. Windows designations are provided as the outer sash dimensions of the unit, and called out in feet and inches wide by feet and inches tall. (Example; 2852 designation is a window with a 2 foot 8 inch wide by 5 foot 2 inch tall sash.) Contractor to coordinate sill extensions as required for exterior wall conditions.
23. Builder to have braced walls and shear walls designed by others. Designer is not responsible for designing braced walls.

## ALTERNATE PRICING REQUEST

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.
- 11.
- 12.



## MAIN LEVEL SQ FOOTAGE

3/16" = 1'-0" SCALE

**MASON**

Plan 2330



**HOMES**

### Plan Schedule

Date:	Revisions:
03-12-2019	Floor Plan Review
	Bid Set
	Full CD's
	Final Drawings

### S. Q. F O O T A G E S

Main Level	2330 SQ. FT.
Front Porch	120 SQ. FT.
Covered Patio	180 SQ. FT.
Uncovered Patio	85 SQ. FT.
Garage	555 SQ. FT.

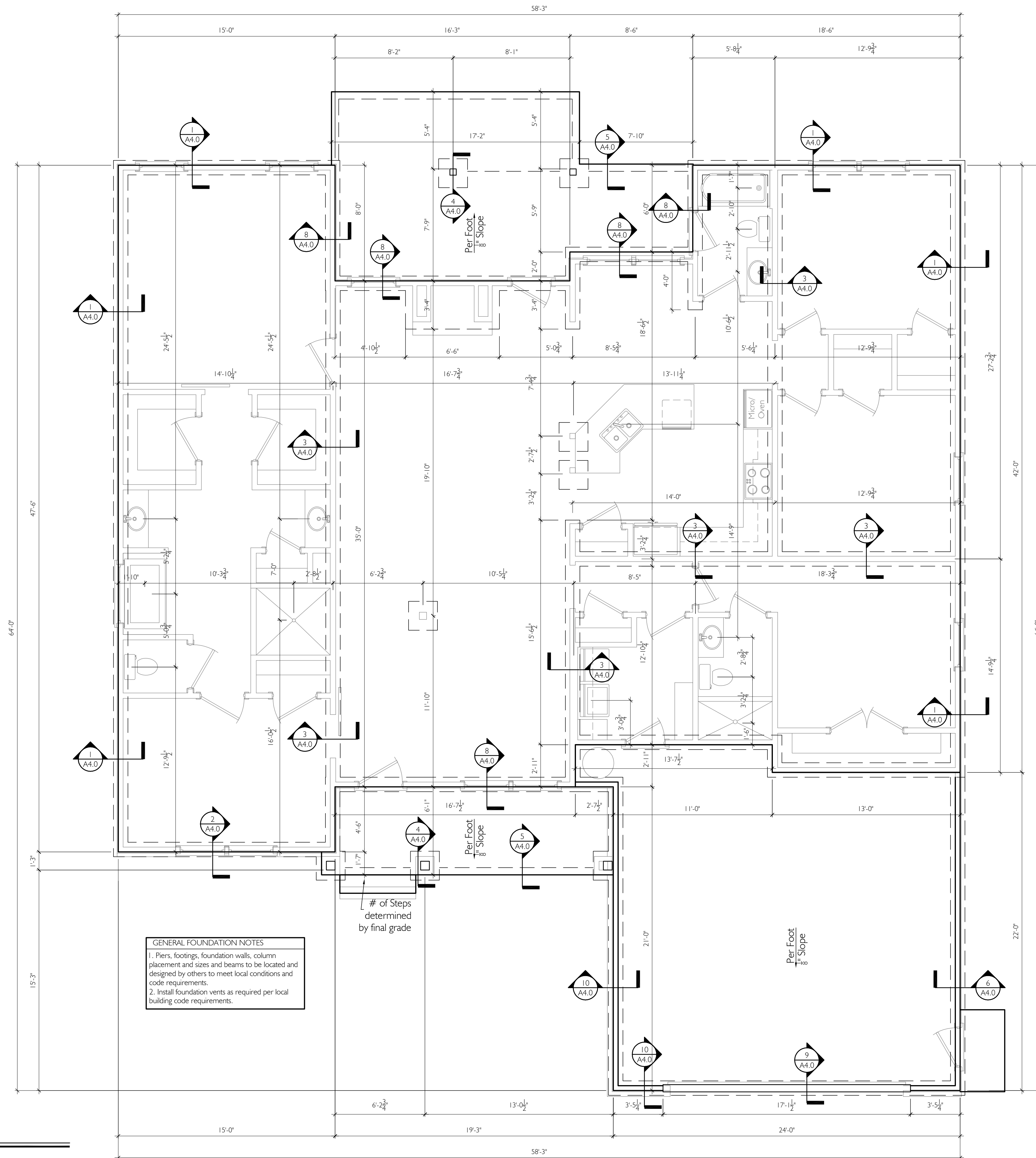
### S H E E T I N D E X

T1.0	Cover Page
T1.1	General Notes
A1.0	Foundation Plan
A1.1	Roof Plan
A2.0	Main Level Floor Plan
A2.1	Upper Level Floor Plan
A3.0	Elevations
A3.1	Elevations
A4.0	Foundation Details
A4.1	Standard Framing Details
A4.2	Framing Details
E1.0	Main Level Electrical Plan
E1.1	Upper Level Electrical Plan

### S H E E T N U M B E R

General Notes

**T1.1**



**GENERAL FOUNDATION NOTES**  
 1. Piers, footings, foundation walls, column placement and sizes and beams to be located and designed by others to meet local conditions and code requirements.  
 2. Install foundation vents as required per local building code requirements.

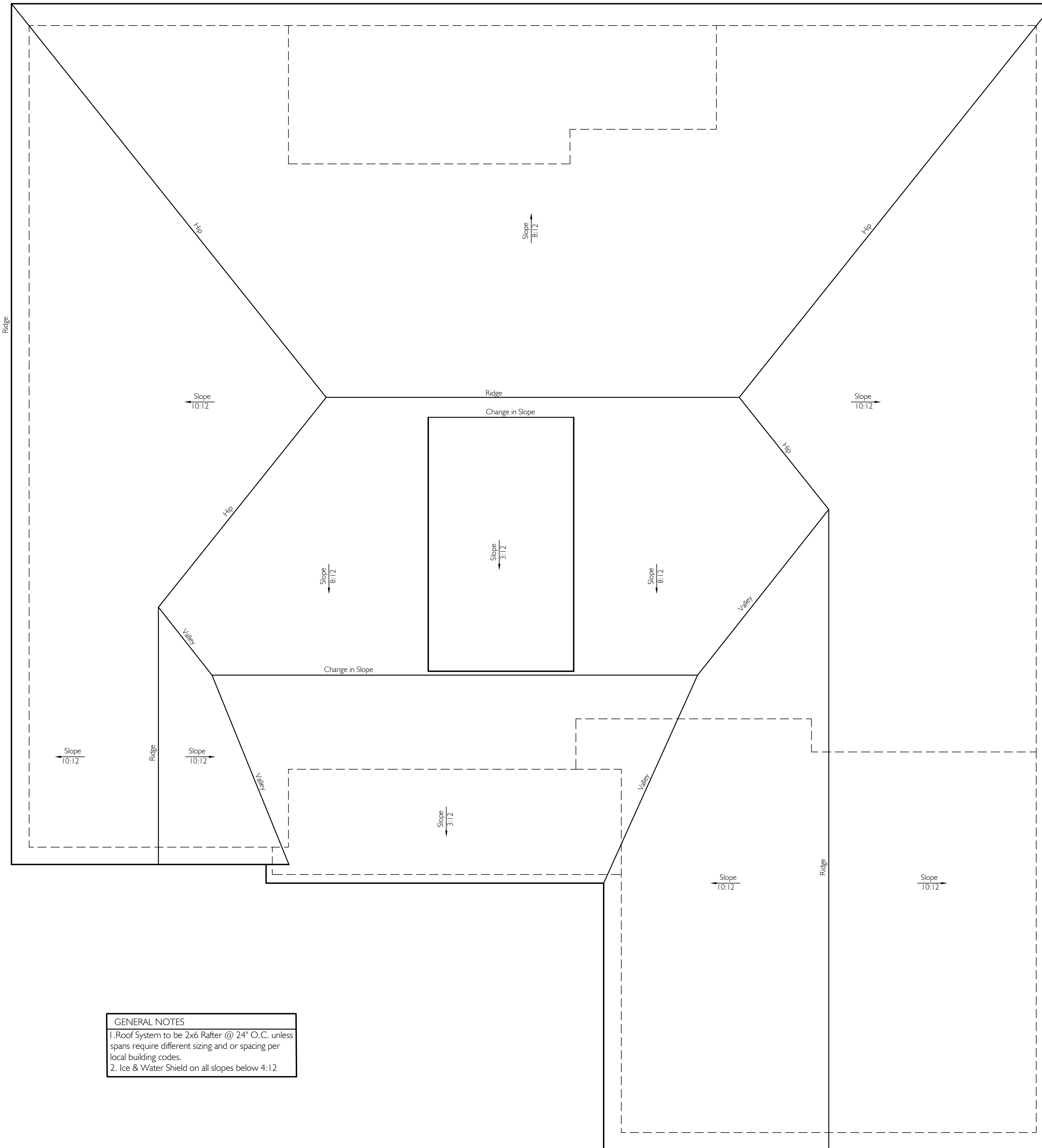
# of Steps determined by final grade

**1** Foundation Plan  
 A1.0 Scale 1/4" = 1'-0"

Plan Schedule	
Date:	Revisions:
03-12-2019	Floor Plan Review
	Bid Set
	Full CD's
	Final Drawings

S. Q. FOOTAGES	
Main Level	2330 SQ. FT.
Front Porch	120 SQ. FT.
Covered Patio	180 SQ. FT.
Uncovered Patio	85 SQ. FT.
Garage	555 SQ. FT.

SHEET INDEX	
T1.0	Cover Page
T1.1	General Notes
A1.0	Foundation Plan
A1.1	Roof Plan
A2.0	Main Level Floor Plan
A2.1	Upper Level Floor Plan
A3.0	Elevations
A3.1	Elevations
A4.0	Foundation Details
A4.1	Standard Framing Details
A4.2	Framing Details
E1.0	Main Level Electrical Plan
E1.1	Upper Level Electrical Plan



**GENERAL NOTES**  
 1. Roof System to be 2x6 Rafter @ 24" O.C. unless spans require different sizing and or spacing per local building codes.  
 2. Ice & Water Shield on all slopes below 4:12

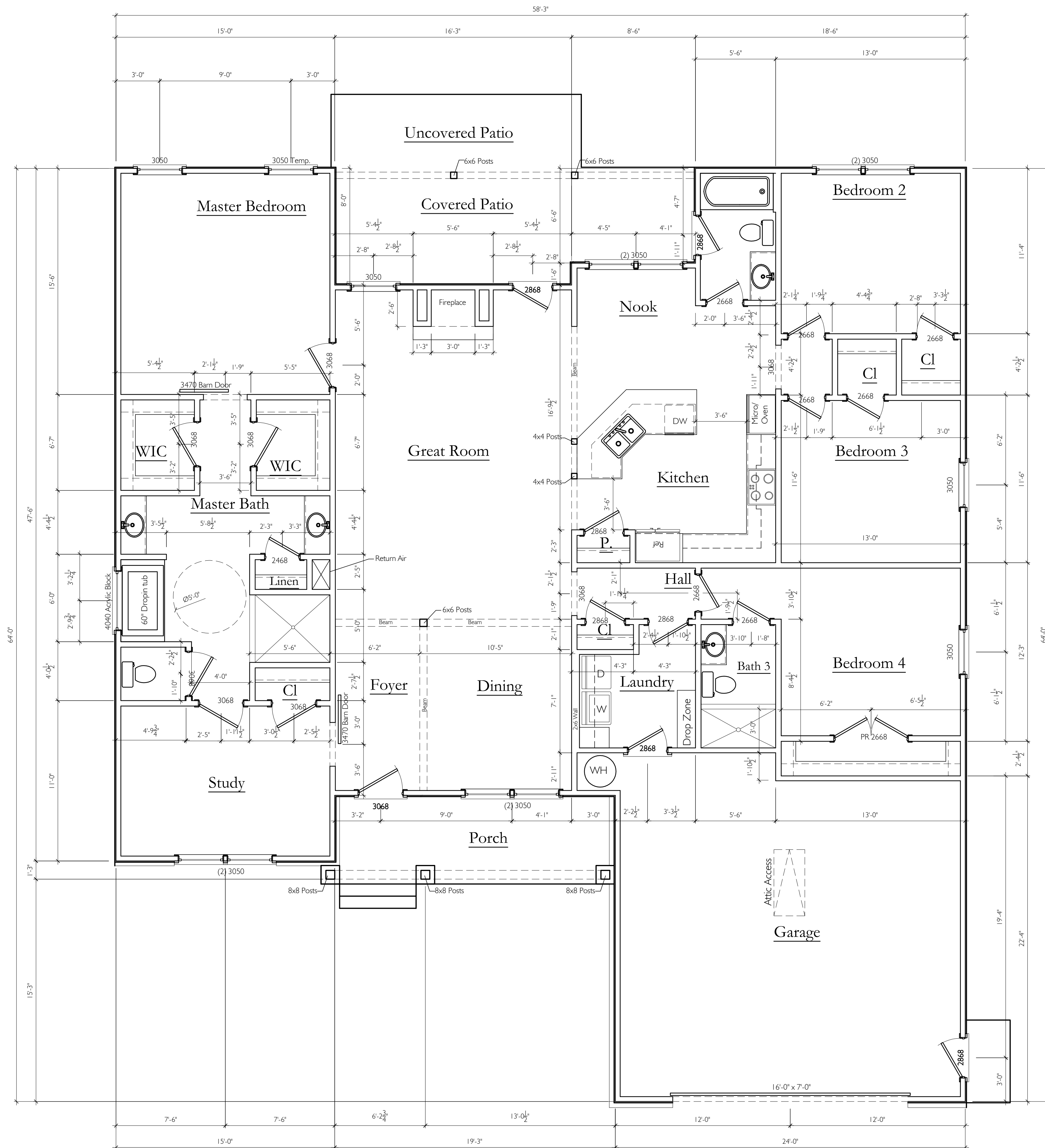
**1** Roof Plan  
 A1.1 Scale 1/4" = 1'-0"

Plan Schedule	
Date:	Revisions:
03-12-2019	Floor Plan Review
	Bid Set
	Full CD's
	Final Drawings

S. Q. F O O T A G E S	
Main Level	2330 SQ. FT.
Front Porch	120 SQ. FT.
Covered Patio	180 SQ. FT.
Uncovered Patio	85 SQ. FT.
Garage	555 SQ. FT.

S H E E T I N D E X	
T1.0	Cover Page
T1.1	General Notes
A1.0	Foundation Plan
A1.1	Roof Plan
A2.0	Main Level Floor Plan
A2.1	Upper Level Floor Plan
A3.0	Elevations
A3.1	Elevations
A4.0	Foundation Details
A4.1	Standard Framing Details
A4.2	Framing Details
E1.0	Main Level Electrical Plan
E1.1	Upper Level Electrical Plan

S H E E T N U M B E R  
 Roof Plan  
**A1.1**



Plan Schedule	
Date:	Revisions:
03-12-2019	Floor Plan Review
	Bid Set
	Full CD's
	Final Drawings

S. Q. FOOTAGES

Main Level	2330 SQ. FT.
Front Porch	120 SQ. FT.
Covered Patio	180 SQ. FT.
Uncovered Patio	85 SQ. FT.
Garage	555 SQ. FT.

SHEET INDEX

T1.0	Cover Page
T1.1	General Notes
A1.0	Foundation Plan
A1.1	Roof Plan
A2.0	Main Level Floor Plan
A2.1	Upper Level Floor Plan
A3.0	Elevations
A3.1	Elevations
A4.0	Foundation Details
A4.1	Standard Framing Details
A4.2	Framing Details
E1.0	Main Level Electrical Plan
E1.1	Upper Level Electrical Plan

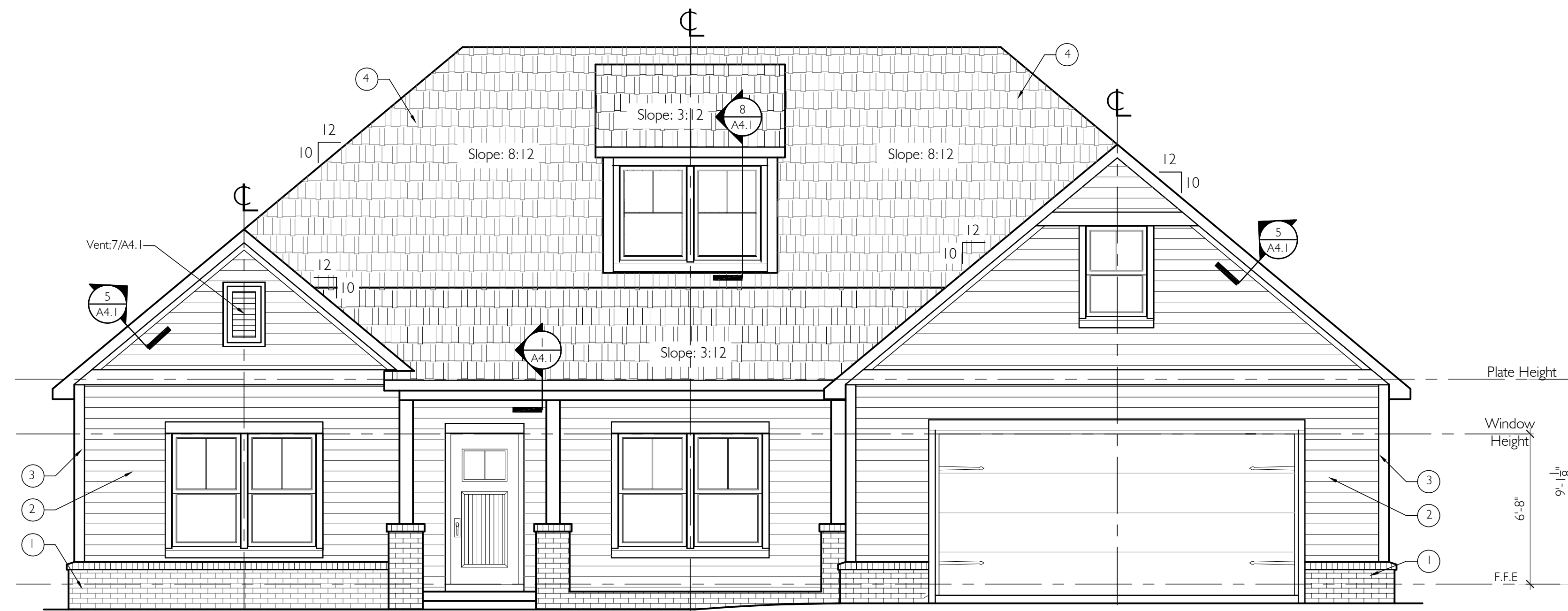
SHEET NUMBER

Main Floor Plan

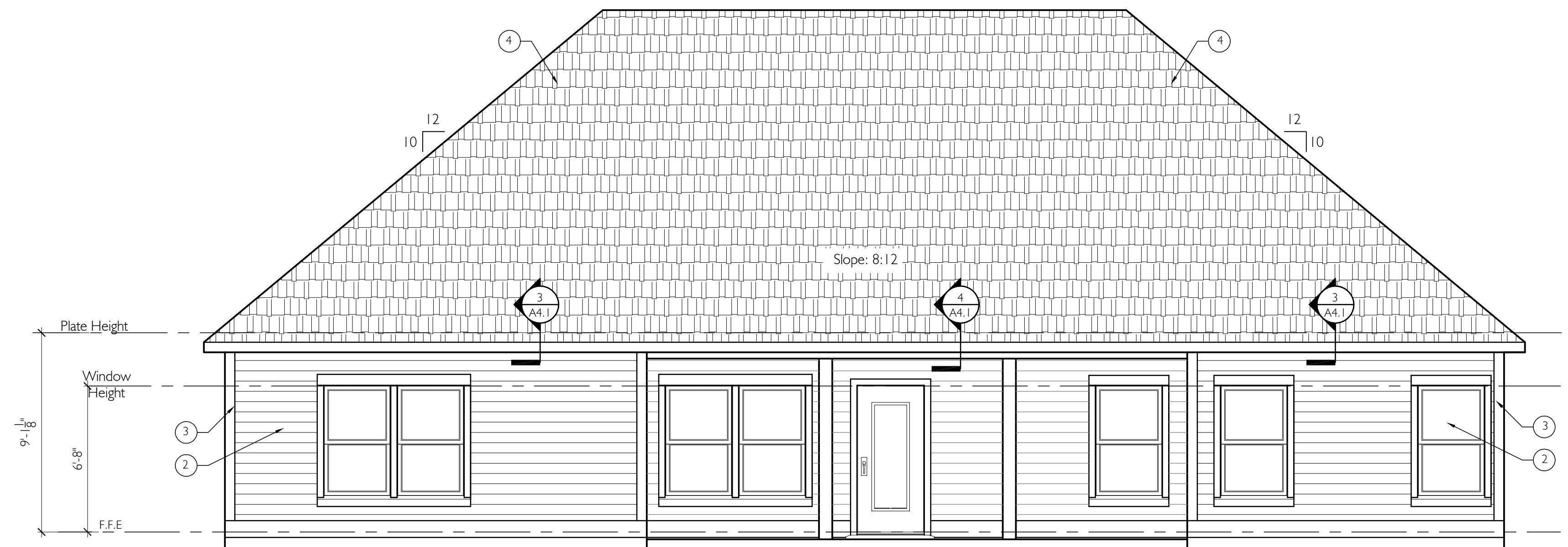
A2.0



MATERIALS LEGEND	
①	Brick Veneer;
②	Lap Siding 7 1/4" Hardi
③	5 1/4" x6" Trim Board Hardi
④	Architectural Asphalt Shingle;



1 Front Elevation  
A3.0 Scale 1/4" = 1'-0"



2 Rear Elevation  
A3.0 Scale 1/4" = 1'-0"

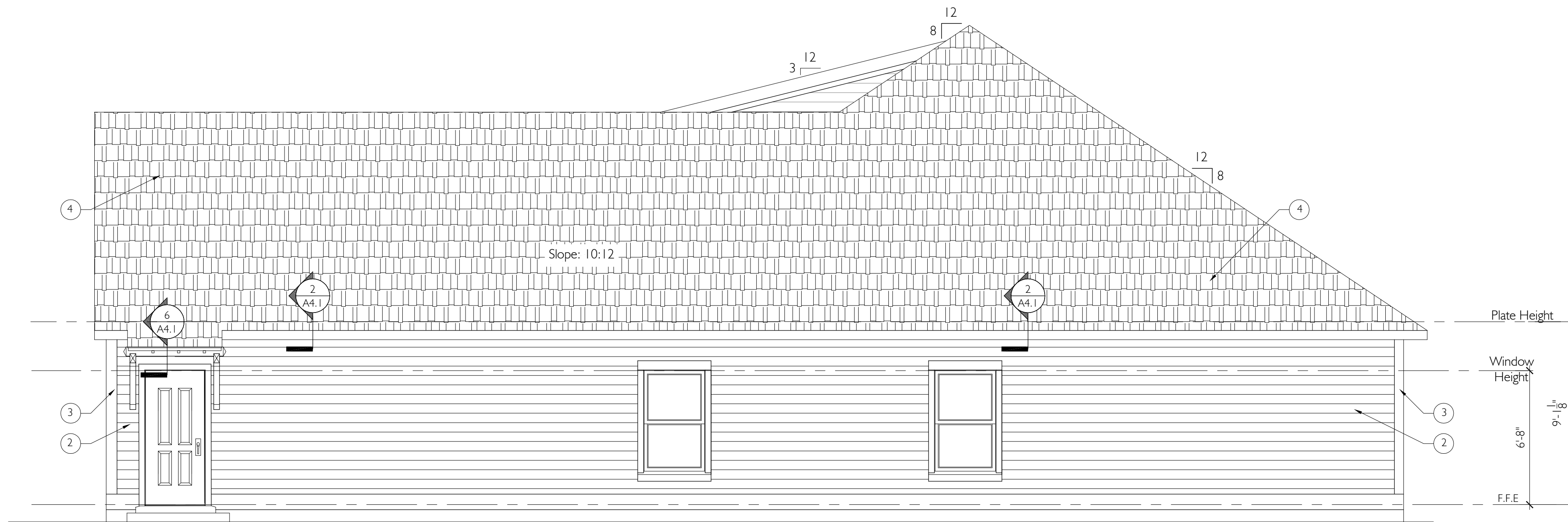
Plan Schedule	
Date:	Revisions:
03-12-2019	Floor Plan Review
	Bid Set
	Full CD's
	Final Drawings

S. Q. FOOTAGES	
Main Level	2330 SQ. FT.
Front Porch	120 SQ. FT.
Covered Patio	180 SQ. FT.
Uncovered Patio	85 SQ. FT.
Garage	555 SQ. FT.

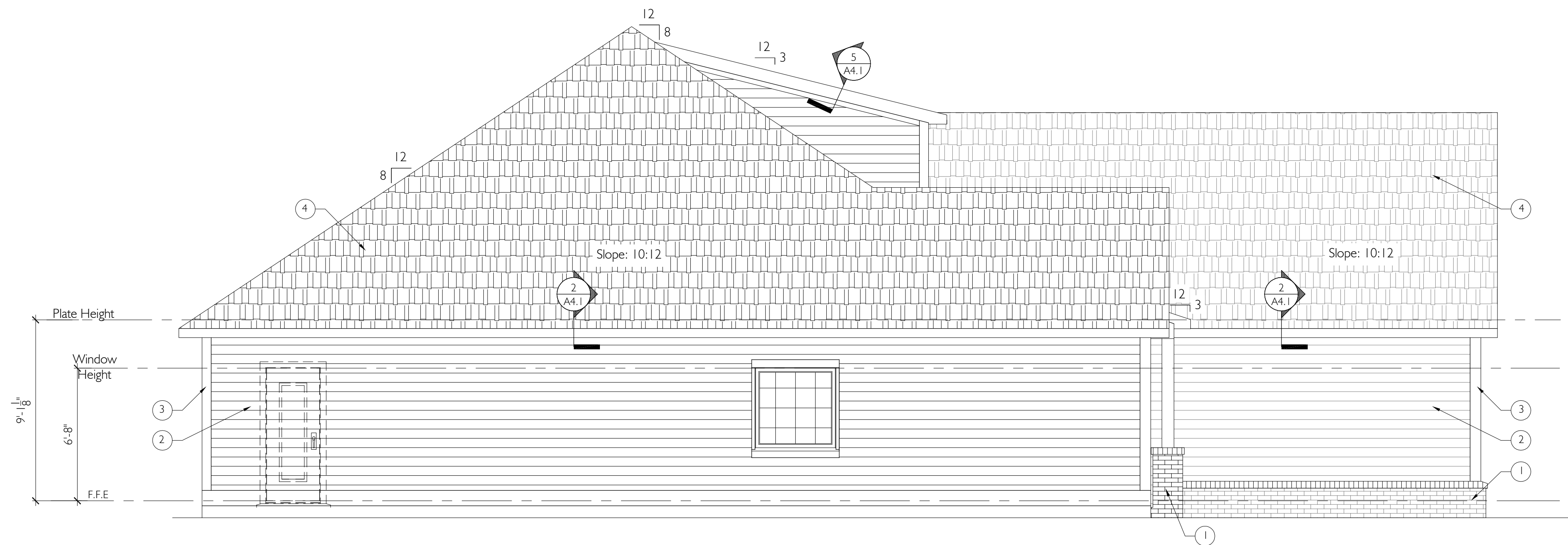
SHEET INDEX	
T1.0	Cover Page
T1.1	General Notes
A1.0	Foundation Plan
A1.1	Roof Plan
A2.0	Main Level Floor Plan
A2.1	Upper Level Floor Plan
A3.0	Elevations
A3.1	Elevations Details
A4.0	Foundation Details
A4.1	Standard Framing Details
A4.2	Framing Details
E1.0	Main Level Electrical Plan
E1.1	Upper Level Electrical Plan



MATERIALS LEGEND	
①	Brick Veneer;
②	Lap Siding 7 1/4" Hardi
③	5 1/4" x6" Trim Board Hardi
④	Architectural Asphalt Shingle;



② Left Elevation  
A3.1 Scale 1/4" = 1'-0"



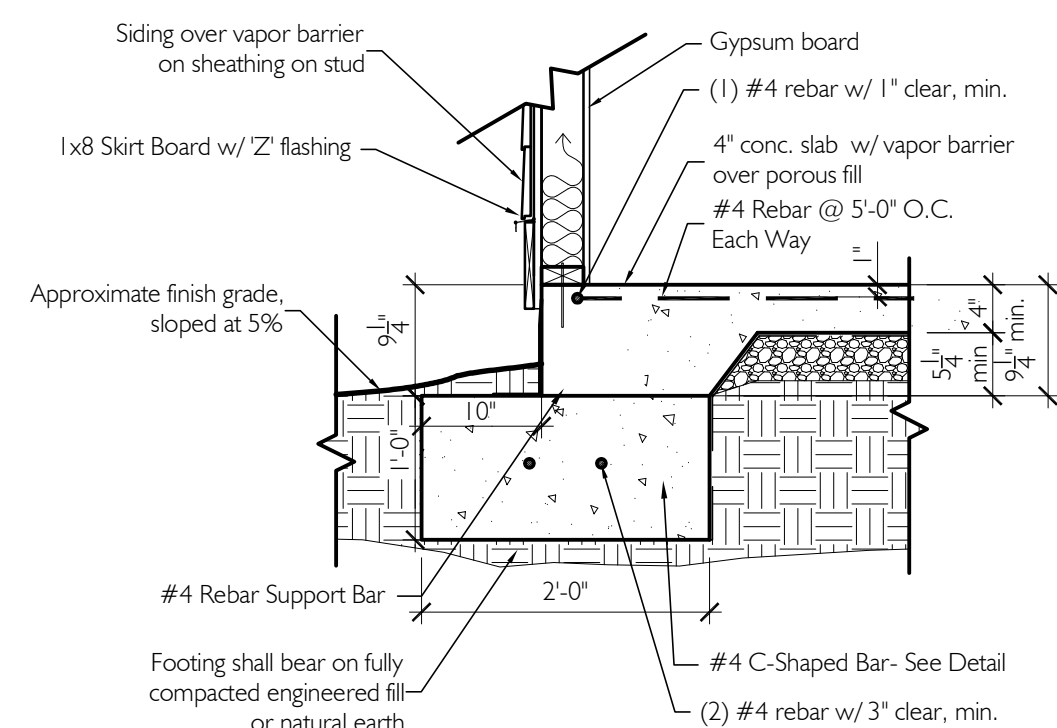
① Right Elevation  
A3.1 Scale 1/4" = 1'-0"

Plan Schedule	
Date:	Revisions:
03-12-2019	Floor Plan Review
	Bid Set
	Full CD's
	Final Drawings

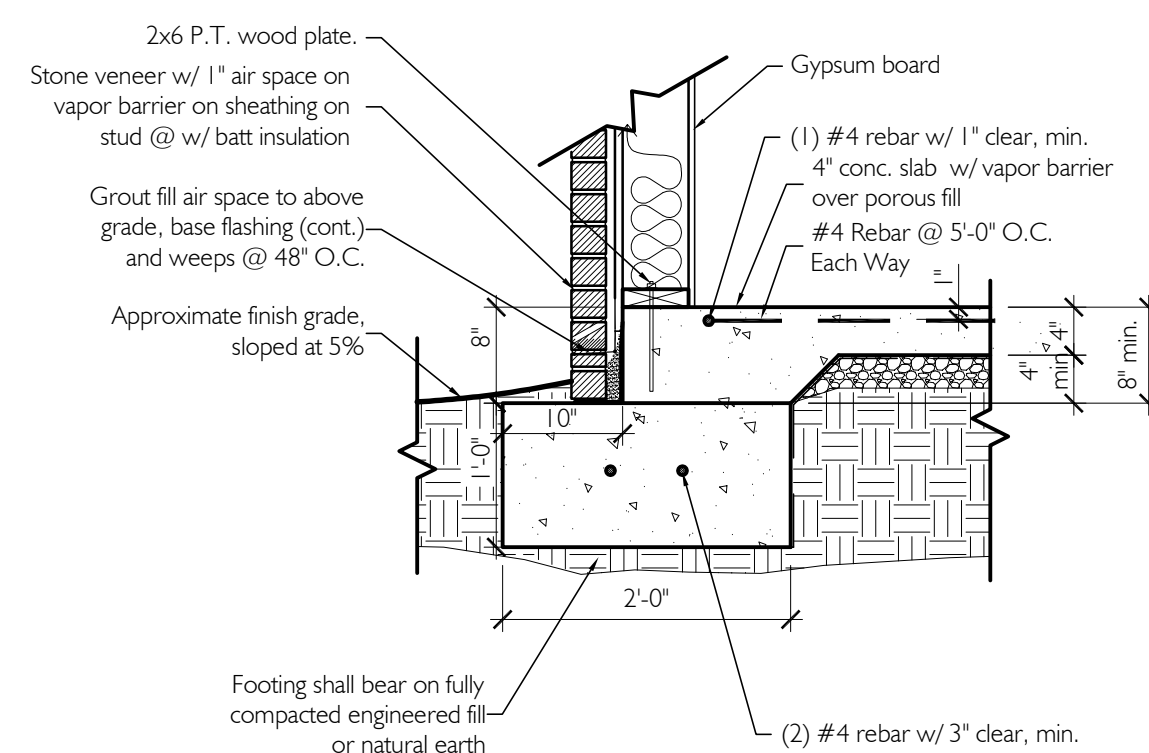
S. Q. FOOTAGES	
Main Level	2330 SQ. FT.
Front Porch	120 SQ. FT.
Covered Patio	180 SQ. FT.
Uncovered Patio	85 SQ. FT.
Garage	555 SQ. FT.

SHEET INDEX	
T1.0	Cover Page
T1.1	General Notes
A1.0	Foundation Plan
A1.1	Roof Plan
A2.0	Main Level Floor Plan
A2.1	Upper Level Floor Plan
A3.0	Elevations
A3.1	Elevations
A4.0	Foundation Details
A4.1	Standard Framing Details
A4.2	Framing Details
E1.0	Main Level Electrical Plan
E1.1	Upper Level Electrical Plan

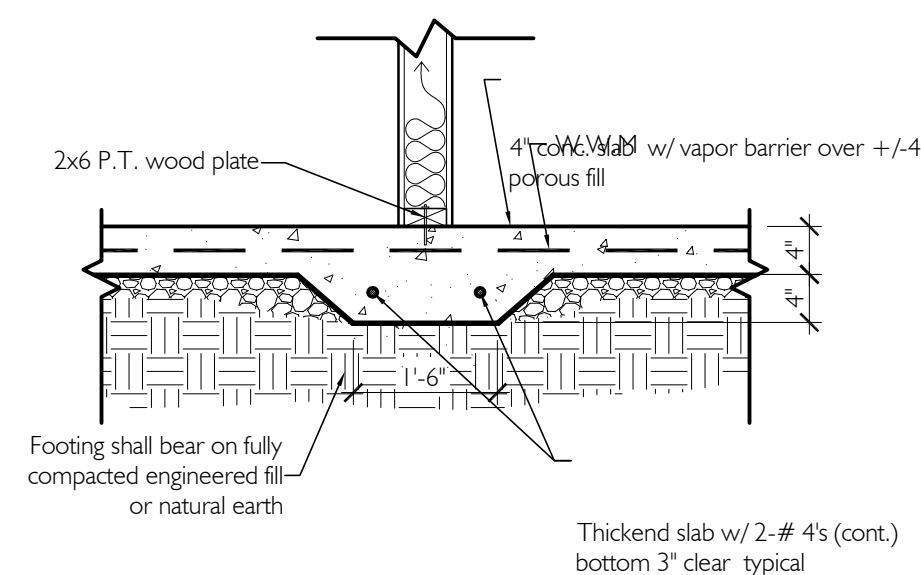
SHEET NUMBER  
Exterior Elevations  
**A3.1**



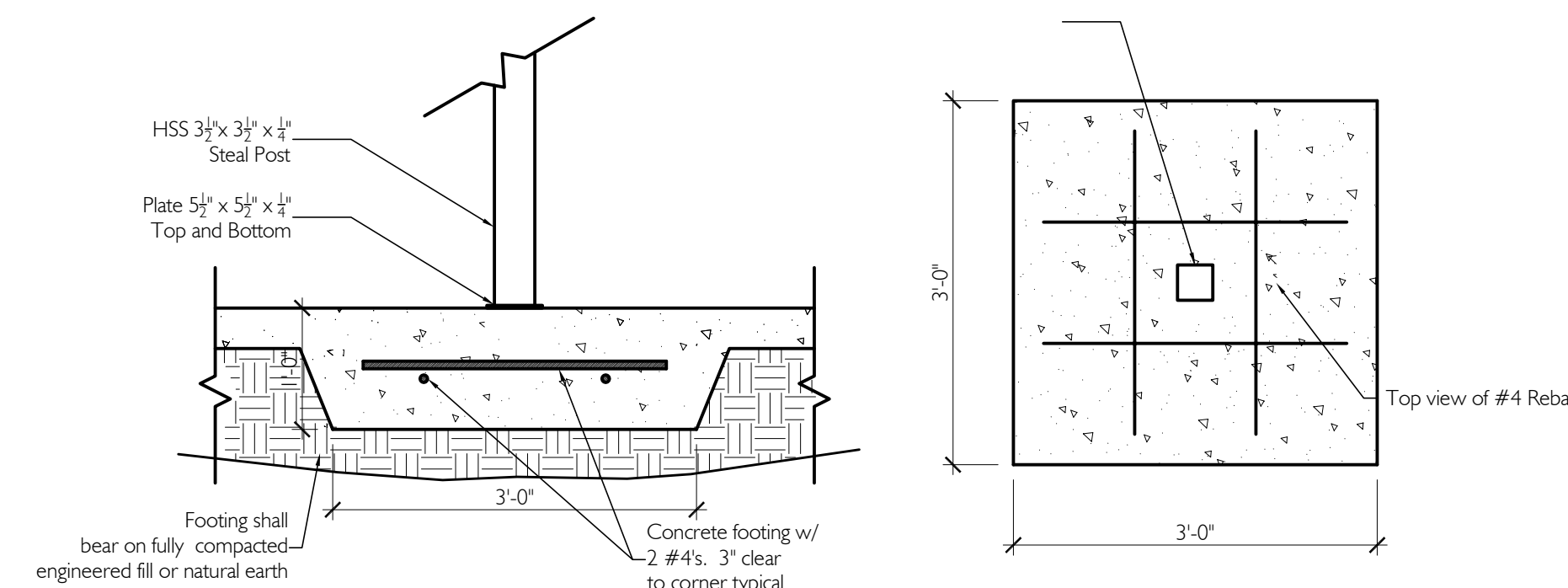
1 Foundation Detail at House  
A4.0 3/4" = 1'-0"



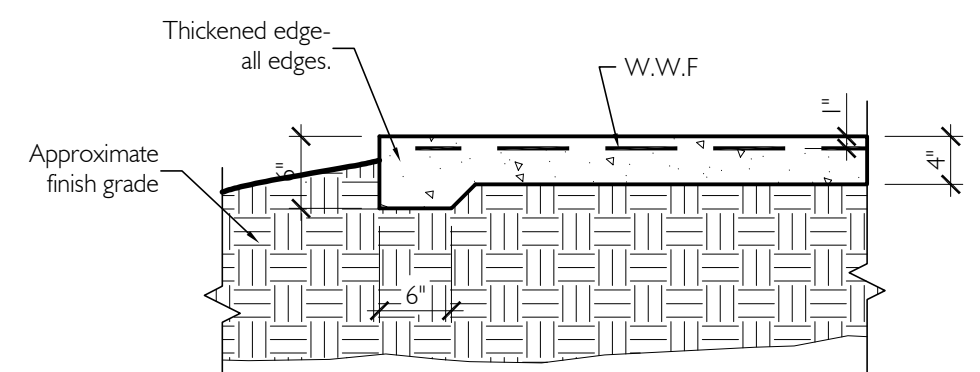
2 Foundation @ House with Brick  
A4.0 3/4" = 1'-0"



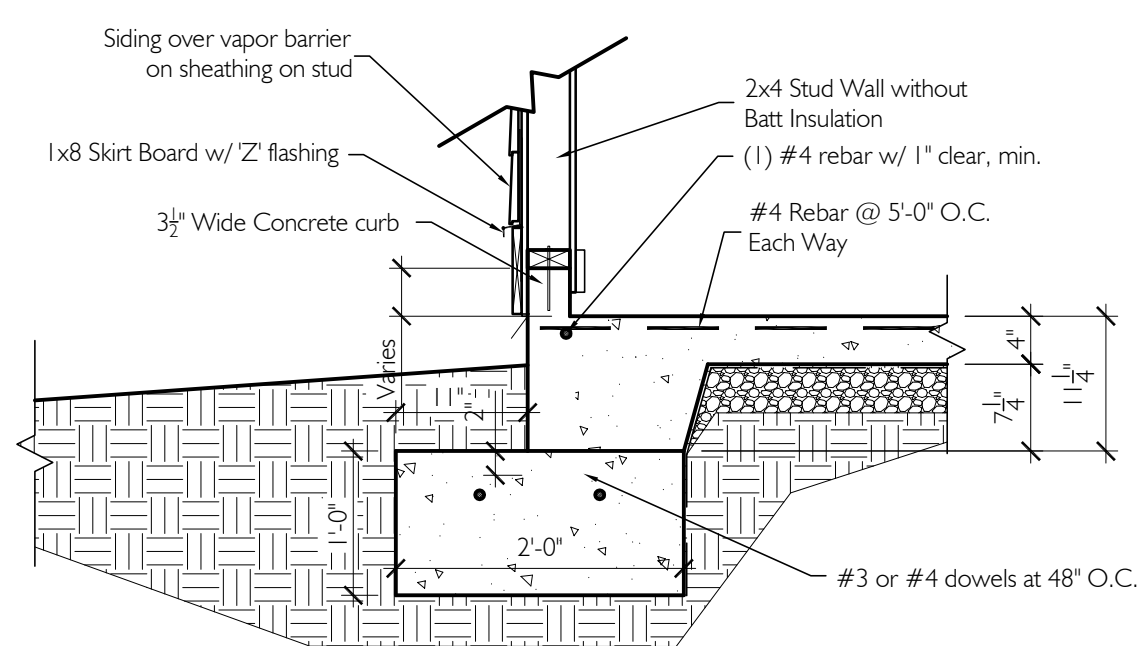
3 Detail @ Thickened Slab For Bearing  
A4.0 3/4" = 1'-0"



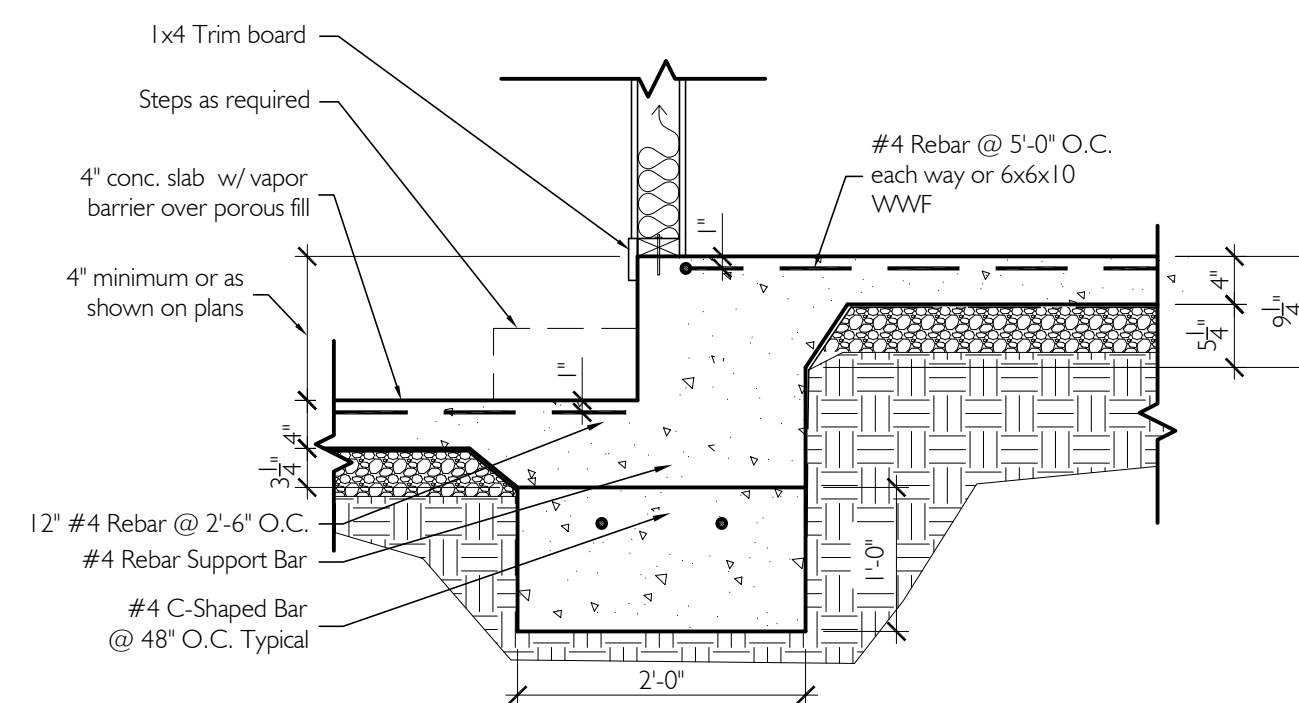
4 Column footing detail  
A4.0 3/4" = 1'-0"



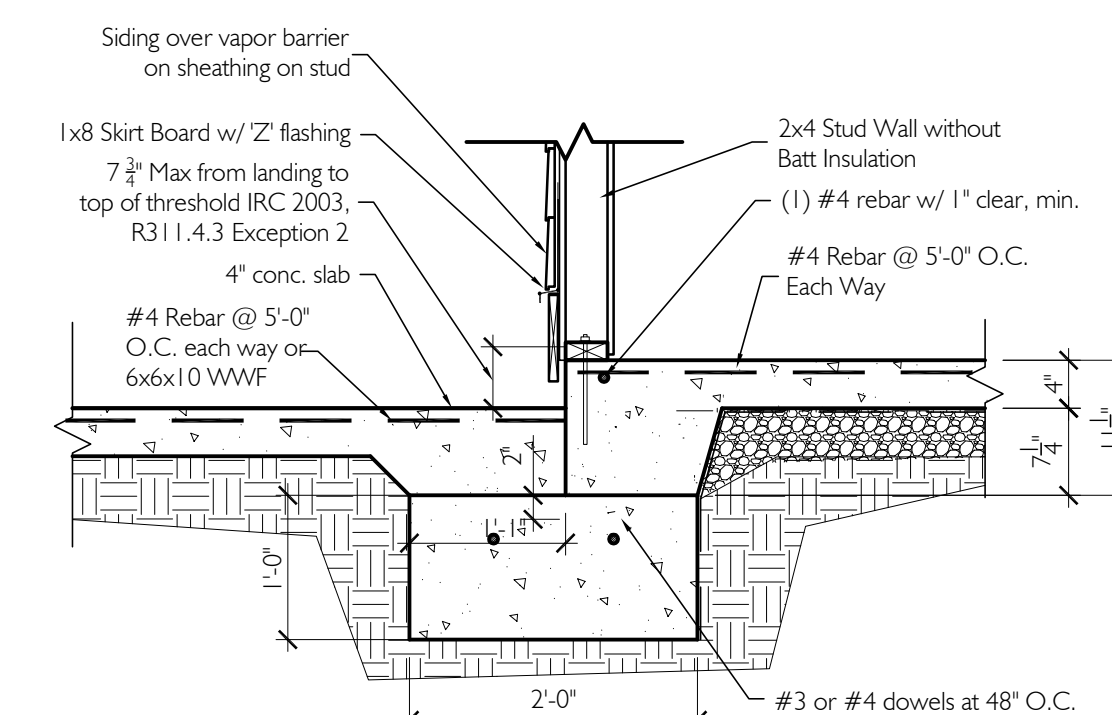
5 Detail at Non-bearing Patio Slab  
A4.0 3/4" = 1'-0"



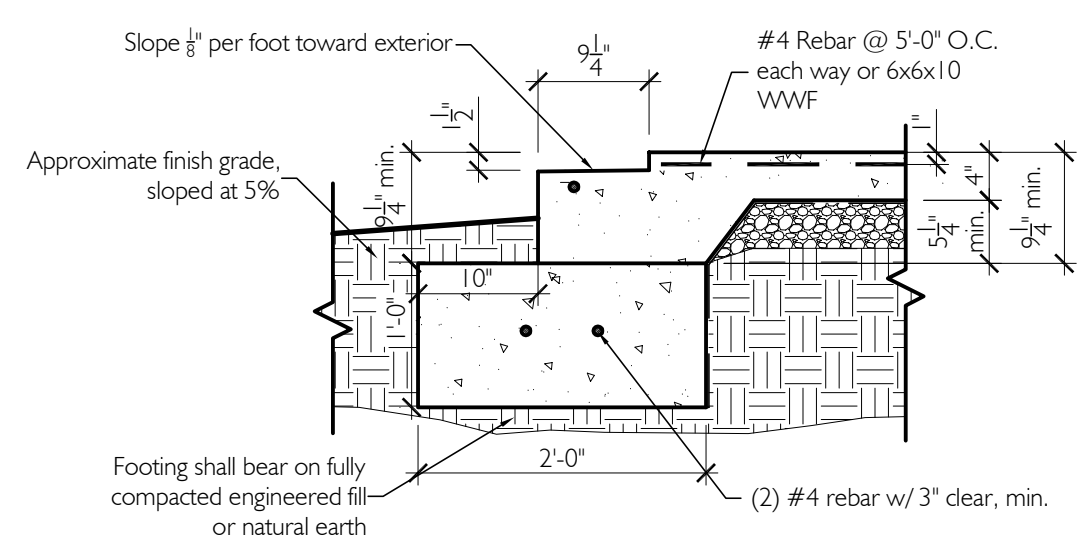
6 Foundation at Garage with Siding  
A0.1 1/2" = 1'-0"



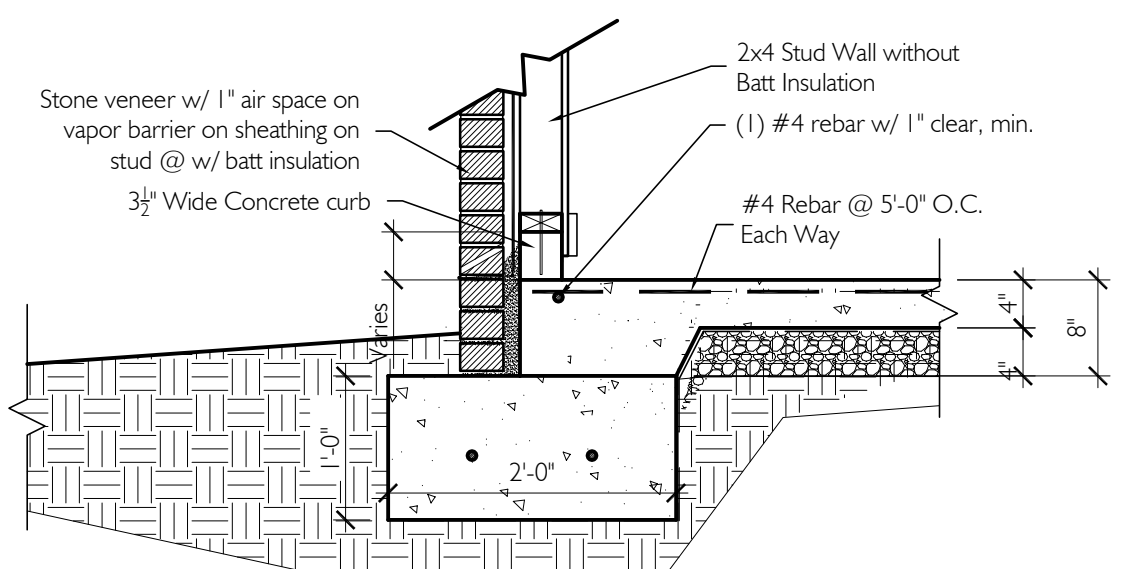
7 Foundation Detail at Gar./House  
A0.1 1/2" = 1'-0"



8 Foundation Detail at Porch w/ Siding  
A4.0 1/2" = 1'-0"



9 Foundation Detail at Garage Opening  
A4.1 3/4" = 1'-0"



10 Foundation at Garage with Stone  
A4.0 1/2" = 1'-0"

BRACED WALL GENERAL NOTES

**EXTERIOR**

- THE EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH 1/2" OSB WITH WOOD BLOCKING PROVIDED AT PANEL SPLICES

- THE OSB SHALL BE CONNECTED TO THE WOOD FRAMING WITH 8D COMMON NAILS (6" AT EDGES, 12 IN FIELD)

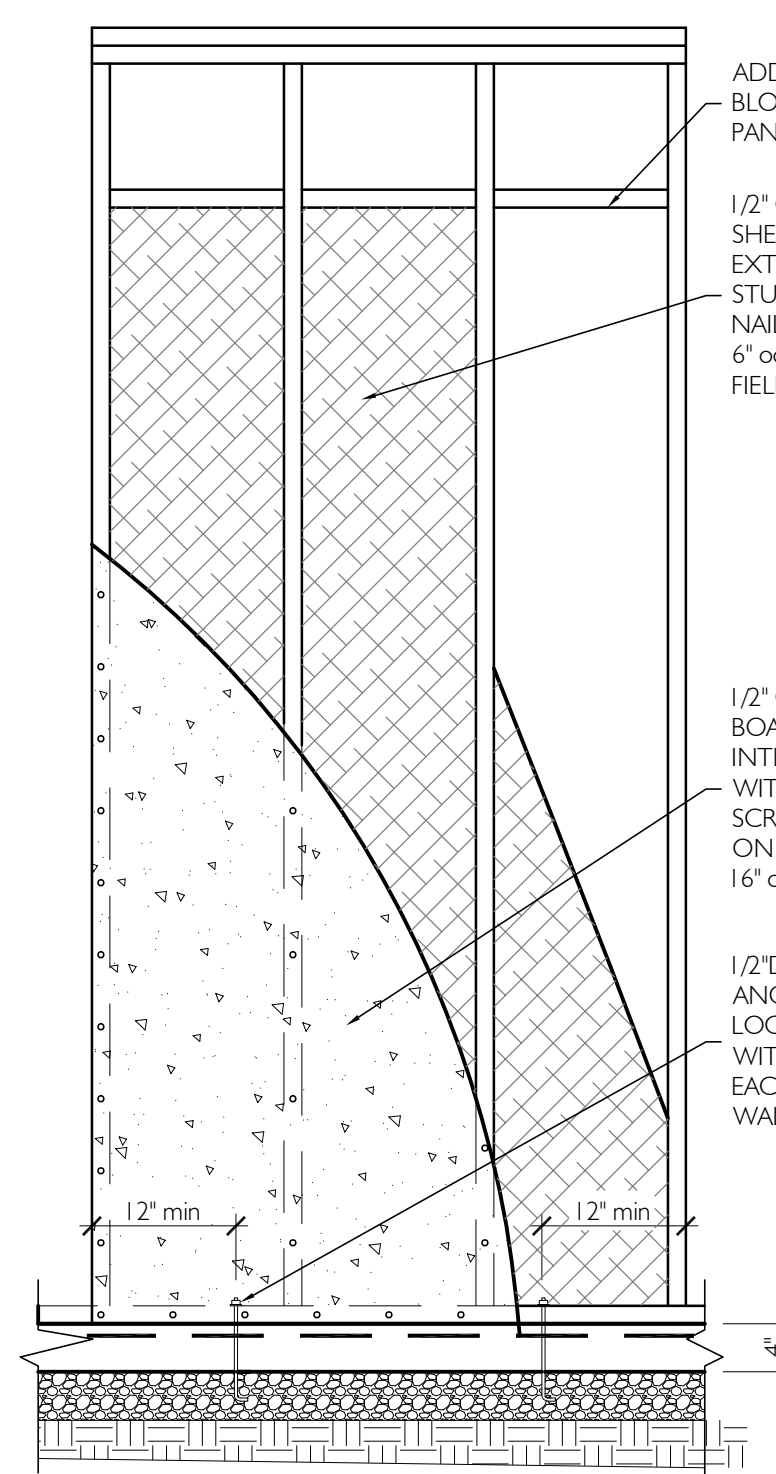
- THE EXTERIOR WALLS SHALL HAVE 1/2" GYPSUM ON THE INTERIOR FACE OF THE WOOD FRAMING ATTACHED WITH SCREWS (7" AT EDGES, 16" IN FIELD)

**INTERIOR**

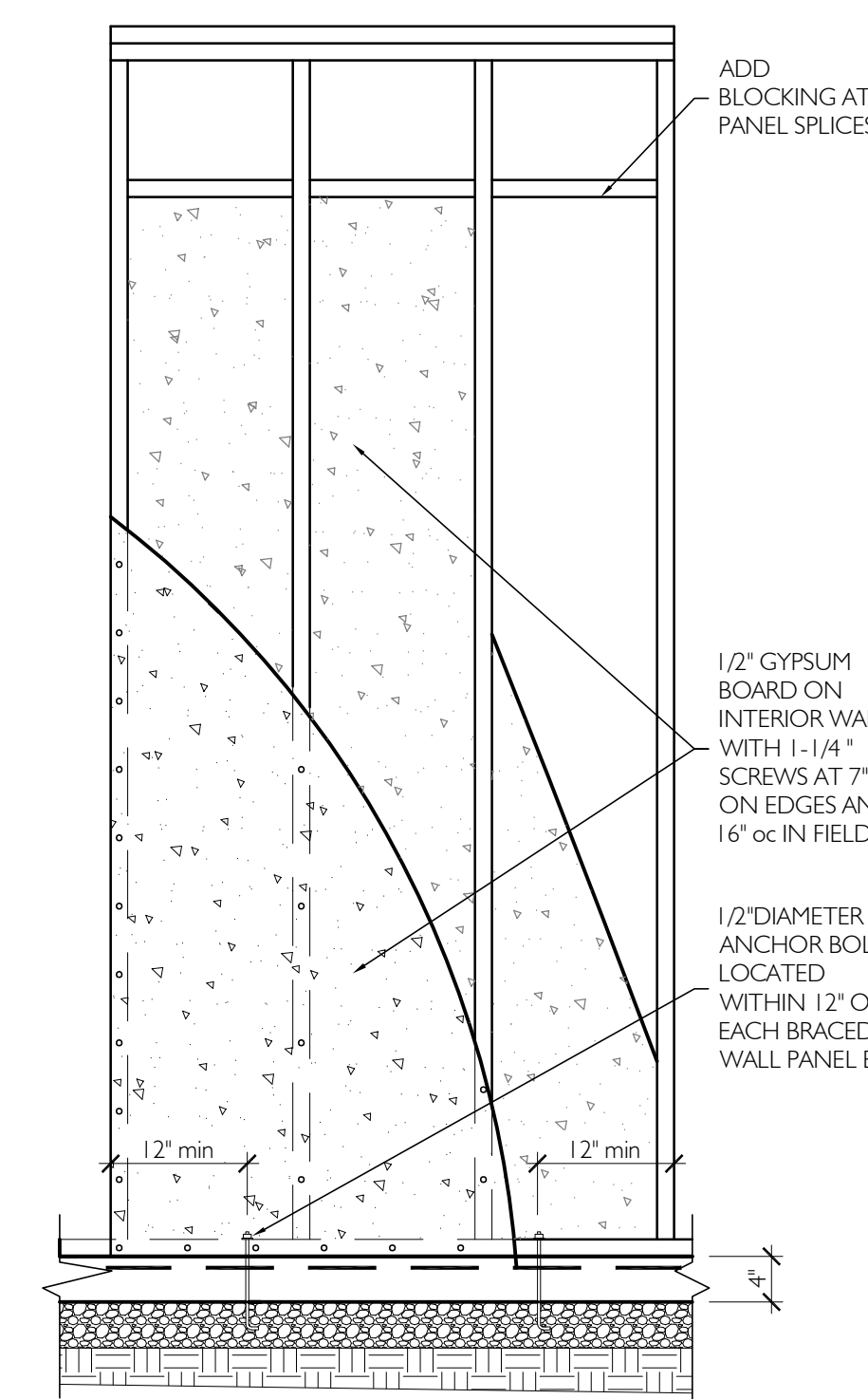
- INTERIOR BRACED WALLS ARE TO BE ANCHORED TO THE SLAB ALONG THE ENTIRE LENGTH OF THE BRACED WALL LINE AT 6" OC WITH 1/2" DIAMETER WEDGE ANCHORS WITH 3" CONCRETE EMBEDMENT

- INTERIOR BRACED WALL PANELS SHALL BE CONNECTED TO THE FRAMING FOR THE MINIMUM REQUIRED LENGTH.

- INTERIOR WALLS SHALL HAVE 1/2" GYPSUM (MINIMUM) ON BOTH FACES OF THE WOOD FRAMING ATTACHED WITH SCREWS (7" AT EDGES, 16" IN FIELD) WITH WOOD BLOCKING PROVIDED AT PANEL SPLICES.



Typ. Shear Wall Continuous OSB Sheathing  
A4.1 3/4" = 1'-0"



Typ. Shear Wall Continuous Gypsum Board  
A4.1 3/4" = 1'-0"

General Notes:

- All foundation detail to be designed by others. Details provided in this set of plans are for general information.
- Water proofing & flashing to be installed at all areas that are exposed to the elements or soil.
- Expansion, construction joints, membrane & water stop to be install per specification

Plan Schedule	
Date:	Revisions:
03-12-2019	Floor Plan Review
	Bid Set
	Full CD's
	Final Drawings

S. Q. FOOTAGES

Main Level	2330 SQ. FT.
Front Porch	120 SQ. FT.
Covered Patio	180 SQ. FT.
Uncovered Patio	85 SQ. FT.
Garage	555 SQ. FT.

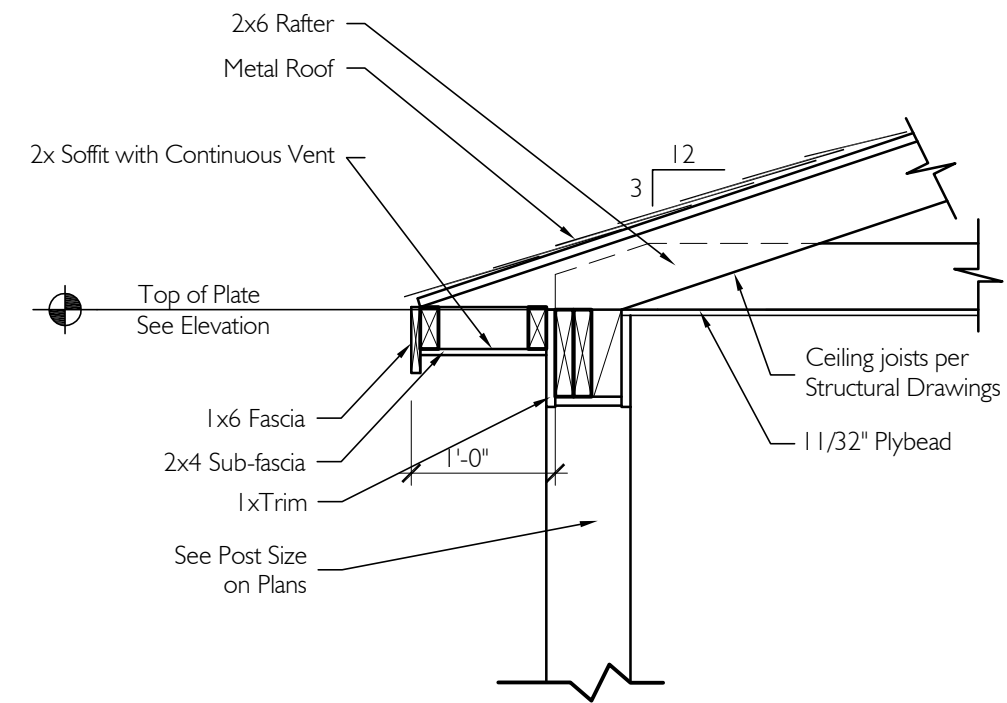
SHEET INDEX

T1.0	Cover Page
T1.1	General Notes
A1.0	Foundation Plan
A1.1	Roof Plan
A2.0	Main Level Floor Plan
A2.1	Upper Level Floor Plan
A3.0	Elevations
A3.1	Elevations
A4.0	Foundation Details
A4.1	Standard Framing Details
A4.2	Framing Details
E1.0	Main Level Electrical Plan
E1.1	Upper Level Electrical Plan

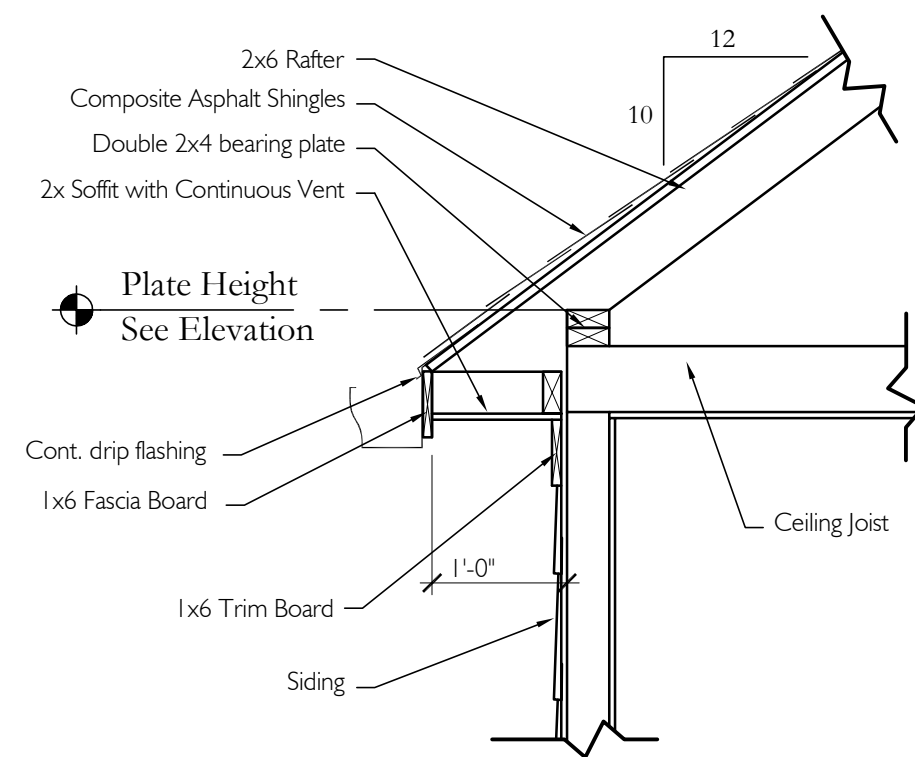
SHEET NUMBER  
Foundation Details

A4.0

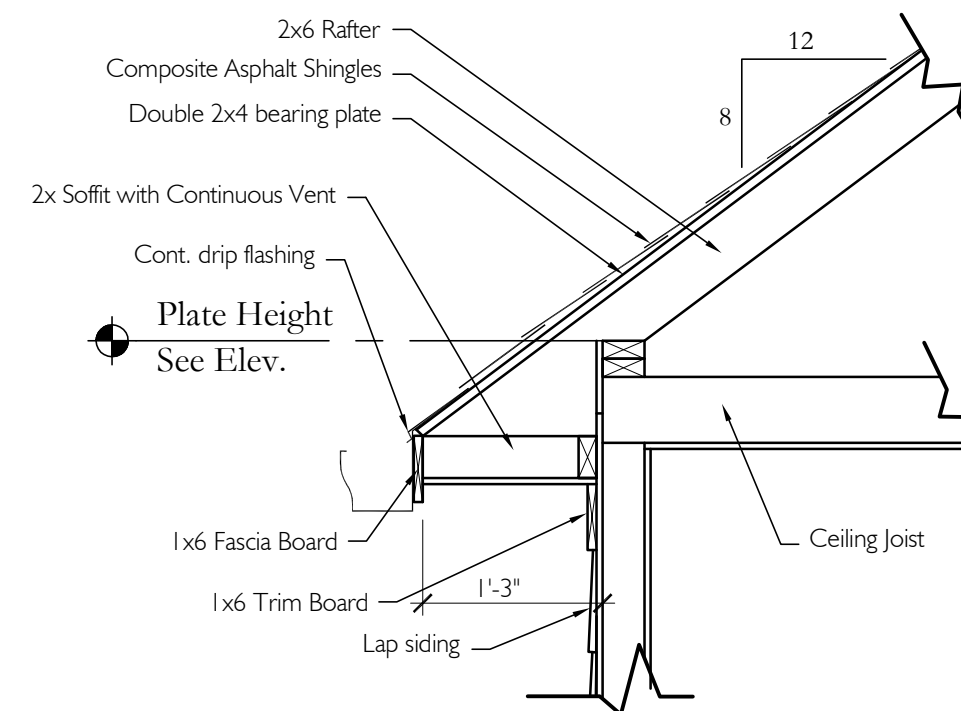




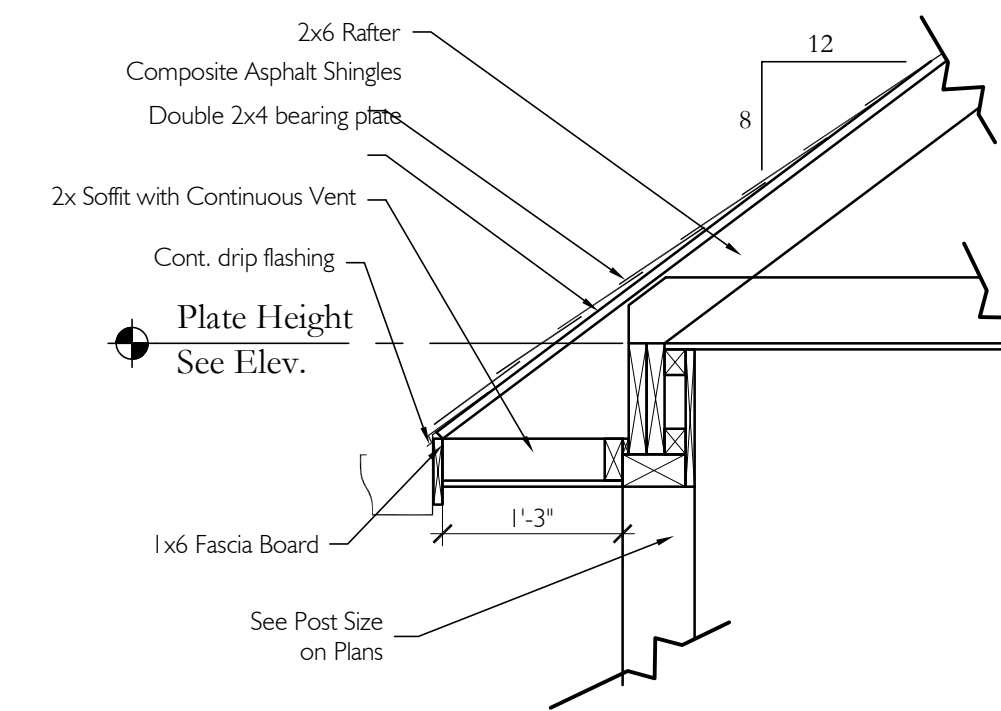
1 Eave Detail  
A4.1 3/4" = 1'-0"



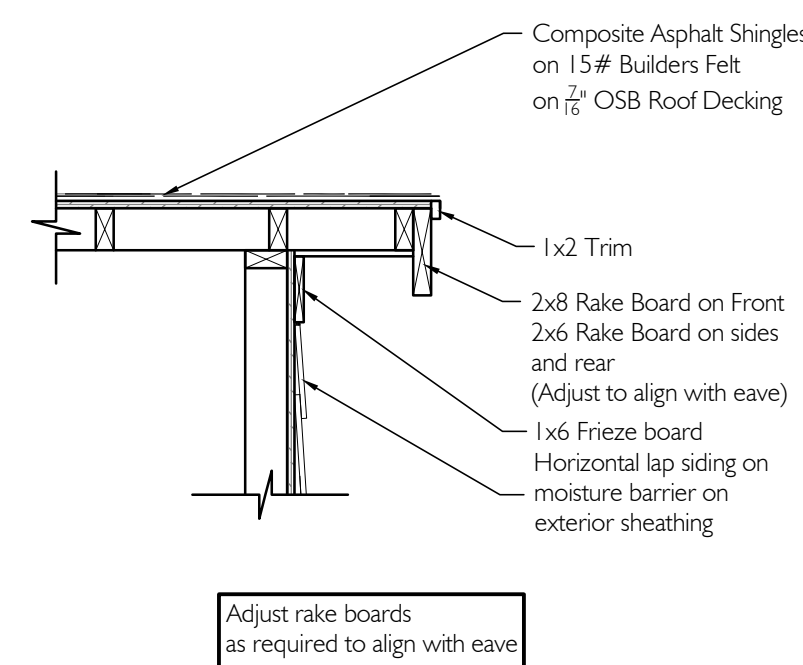
2 Eave Detail  
A4.1 3/4" = 1'-0"



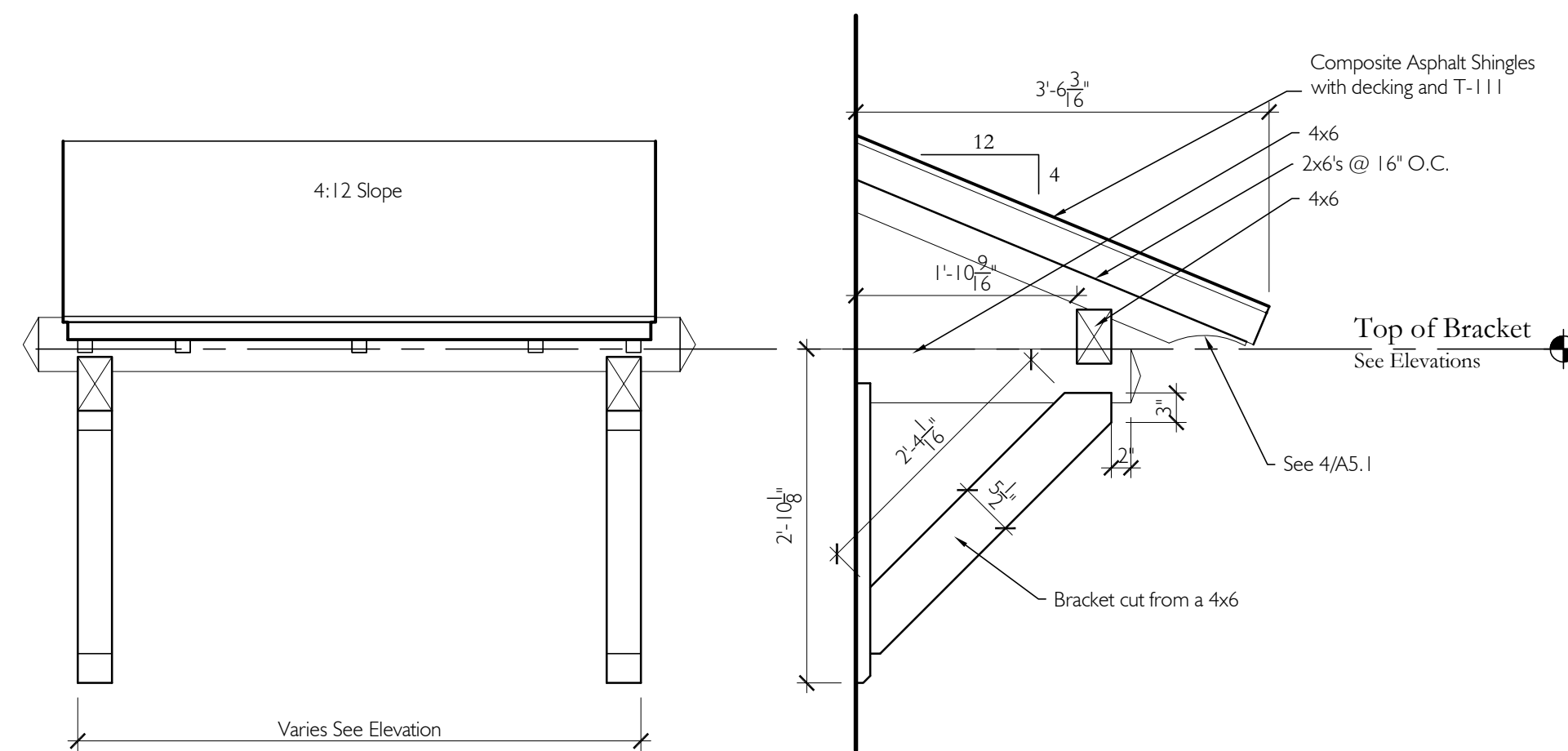
3 Eave Detail  
A4.1 3/4" = 1'-0"



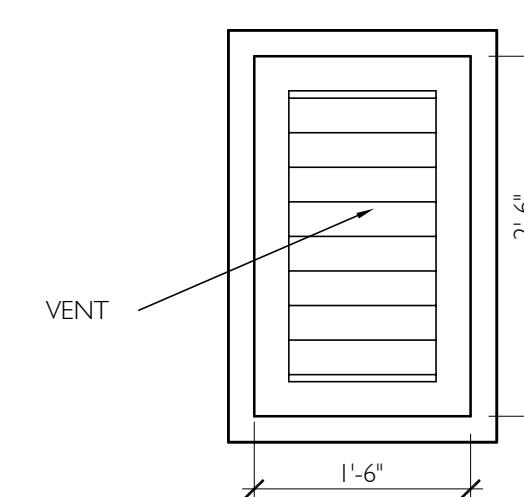
4 Eave Detail  
A4.1 3/4" = 1'-0"



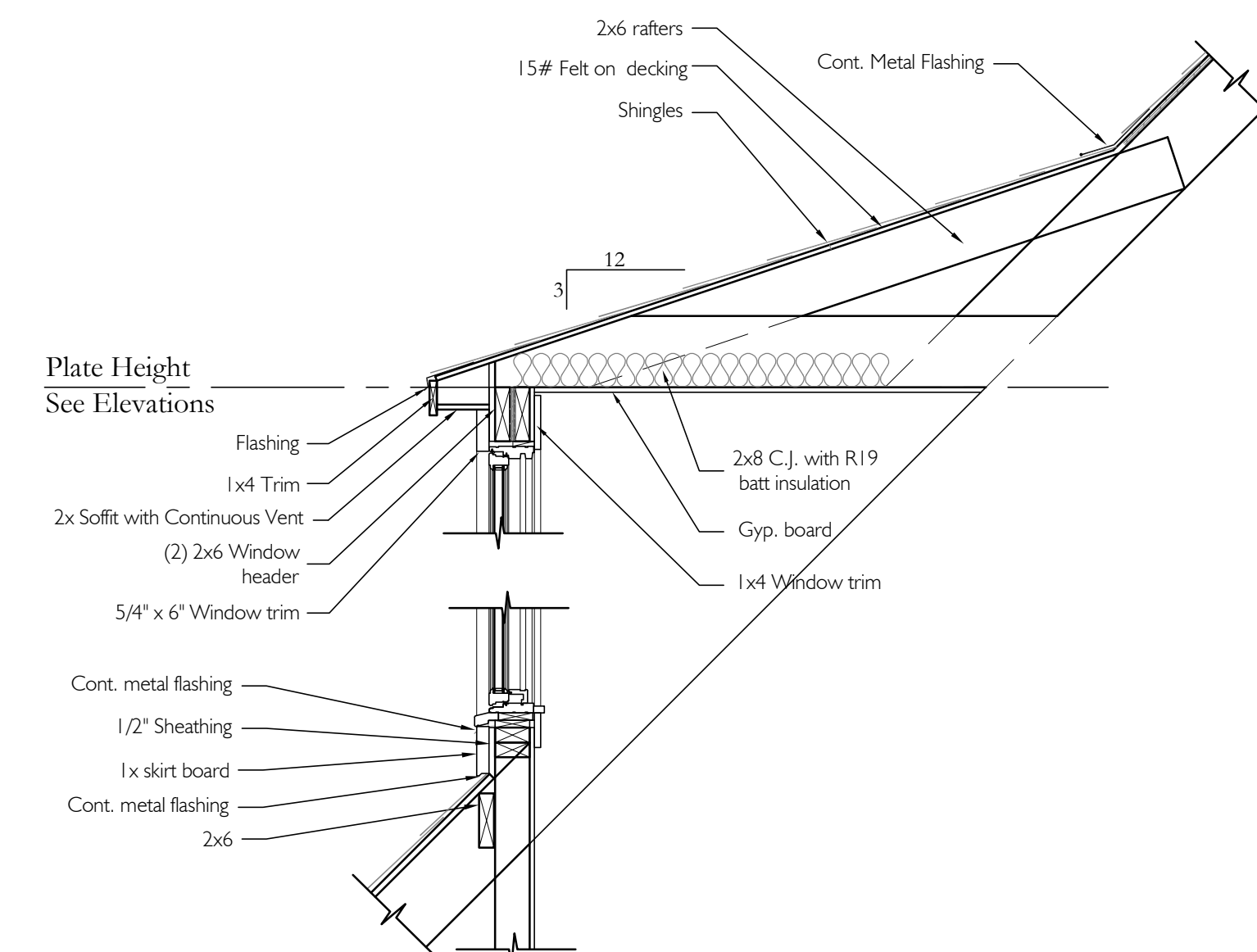
5 Rake Detail  
A4.1 3/4" = 1'-0"



6 Shed Roof  
A4.1 3/4" = 1'-0"



7 Vent Detail  
A4.1 3/4" = 1'-0"



8 Shutter Detail  
A4.1 3/4" = 1'-0"

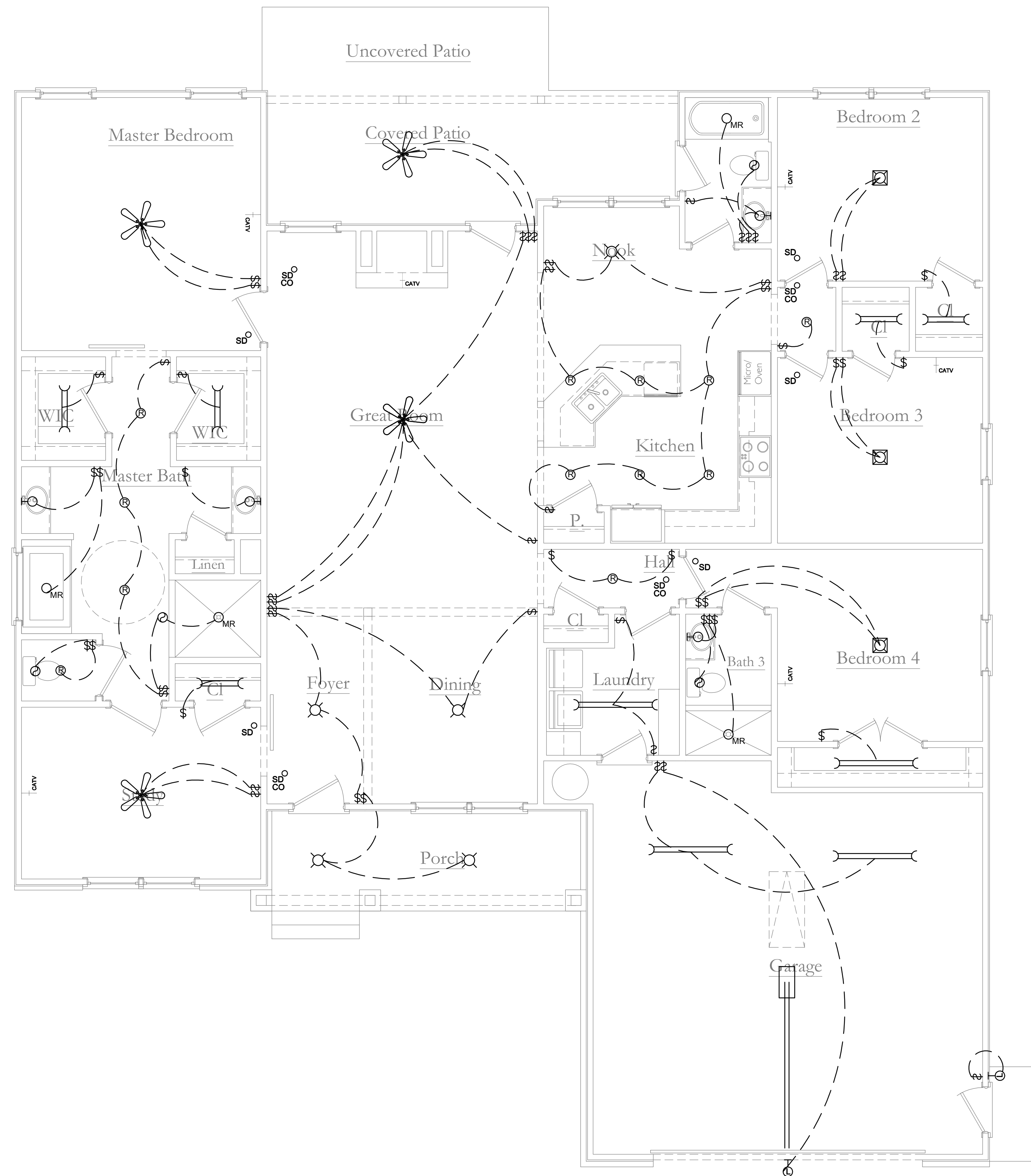
Plan Schedule	
Date:	Revisions:
03-12-2019	Floor Plan Review
	Bid Set
	Full CD's
	Final Drawings

S. Q. FOOTAGES	
Main Level	2330 SQ. FT.
Front Porch	120 SQ. FT.
Covered Patio	180 SQ. FT.
Uncovered Patio	85 SQ. FT.
Garage	555 SQ. FT.

SHEET INDEX	
T1.0	Cover Page
T1.1	General Notes
A1.0	Foundation Plan
A1.1	Roof Plan
A2.0	Main Level Floor Plan
A2.1	Upper Level Floor Plan
A3.0	Elevations
A3.1	Elevations
A4.0	Foundation Details
A4.1	Standard Framing Details
A4.2	Framing Details
E1.0	Main Level Electrical Plan
E1.1	Upper Level Electrical Plan

**Notes:**

- Overhang widths will vary in order to line up with different sloped overhangs and rakes
- Details on this page are for general construction use only and may vary depending on the width, bearing height & if it is a main level or upper level detail. Field verify all details before construction with window placement.
- These details are designed for stick framing and not trusses.



Electrical and Lighting Legend

	Light / Fan Box
	Exterior Waterproof Duplex Receptacle
	Exterior Wall Mounted Sconce or Lantern
	Smoke Detector
	Exhaust Fan
	Surface Mounted Light Fixture
	Keyless Light Fixture
	Recessed Can Fixture
	Moisture Resistant Can Fixture
	Ceiling Mounted Pendant Fixture
	Wall Mounted Sconce
	Duplex Receptacle Outlet
	Duplex Receptacle Floor Outlet
	Switched Duplex Receptacle Outlet
	Switched Duplex Receptacle Floor Outlet
	Telephone Receptacle
	Ground Fault Interrupter Circuit (GFI)
	Cable Television
	Wall Switch
	Dimmer Switch
	Three-Way Switch
	Three-Way Dimmer Switch
	220-Volt Outlet
	Under Cabinet Light
	Exterior Flood Light
	Ceiling Fan Fixture
	Garage Door Opener
	2' Florescent Fixture
	4' Florescent Fixture

\* All Bedroom outlets are to have Arc-Fault Circuit-Interrupter Protection as specified in the 2002 NEC  
 \* All outlets to be installed per governing code where the project is being built  
 \* Provide smoke detectors in each bedroom and in the immediate area (10'-0") outside the bedroom

Plan Schedule

Date:	Revisions:
03-12-2019	Floor Plan Review
	Bid Set
	Full CD's
	Final Drawings

S. Q. FOOTAGES

Main Level	2330 SQ. FT.
Front Porch	120 SQ. FT.
Covered Patio	180 SQ. FT.
Uncovered Patio	85 SQ. FT.
Garage	555 SQ. FT.

SHEET INDEX

T1.0	Cover Page
T1.1	General Notes
A1.0	Foundation Plan
A1.1	Roof Plan
A2.0	Main Level Floor Plan
A2.1	Upper Level Floor Plan
A3.0	Elevations
A3.1	Elevations
A4.0	Foundation Details
A4.1	Standard Framing Details
A4.2	Framing Details
E1.0	Main Level Electrical Plan
E1.1	Upper Level Electrical Plan

SHEET NUMBER  
Main Level  
Electrical Plan  
**E1.0**

**1** Main Level Electrical Plan  
E1.0 Scale: 1/4" = 1'-0"